

# **CITY of BOARDMAN**

## **Community Development**

### **STAFF REPORT**

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**DATE: May 18, 2021**

**TO: Boardman Planning Commission and all interested parties**

**FROM: Barry C. Beyeler, Community Development Director**

**SUBJECT: Ramandeep Malhi Sub-division Request**

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On April 21, 2021, the city received a Subdivision request from Ramandeep S. Malhi to subdivide Tax lot # 1900 of Morrow County Tax Map 04N 25E 16BC. This is a 5.01-acre lot which is between SW Willowfork Dr. and SW Wilson Rd. just East of the current fire station. The lot is zoned Multi-Family Subdistrict.

The developer plans to create 15 lots for four-plexes on each lot, for total of 60 living units. The street will access from SW Willowfork Dr. and end in a cul-de-sac prior to SW Wilson Rd. so as to not violate intersection and driveway spacing standards in the Transportation System Plan (TSP).

Relevant Chapters of the BDC which are reviewed during this decision process include Chapter 2.1 – Residential District, Chapter 2.2 – Commercial District, Chapter 2.3 - General Industrial District Chapter 3.1 – Access and Circulation, Chapter 3.2 – Landscaping, Street Trees, Fences and Walls, Chapter 3.3 – Vehicle and Bicycle Parking, Chapter 3.4 – Public Facilities Standards, and Chapter 4.10 - Traffic Impact Study. This staff report will be of the review of the relevant portions of these BDC Chapters to this particular request.

#### **CHAPTER 2.1 – MULTI-FAMILY SUB DISTRICT**

The Multi Family Sub-district is found in §2.1.400 of the BDC. The proposed development is an outright allowable use in this zone. All of the lots are in excess of the 10,000 square foot minimum as they average out to 11,904.48 square feet. The 90 foot street frontages exceed the minimum street frontage of 80 feet. The four lots on the radius of the cul-de-sac are appropriate as the radius is always shorter than the straight lines.

Elevation drawings delivered with the application indicates the detailed design parameters have more than enough elements to meet code standards.

**This application consistent with the provision Chapter 2.1.**

#### **CHAPTER 3.1 – ACCESS AND CIRCULATION**

Chapter 3.1 of the BDC deals with transportation planning, providing both access and circulation patterns for traffic for vehicles, bicycles and pedestrians. Although the supporting street is a longer cul-de-sac than usual, at 619 feet, this is to meet TSP standards for

intersection spacing of roadways and driveway spacing. Maintaining the 20' access easement to the west of the property and may have conflicts, additional easement may be required on lot 1. This access easement is the access too mail delivery for three homes a private delivery via UPS & FEDEX.

This application is consistent with the provisions of Chapter 3.1.

## **CHAPTER 3.2 – LANDSCAPING, STREET TREES, FENCES AND WALLS**

Chapter 3.2 of the BDC entails the regulation of landscaping required, planting of street trees where necessary, and the construction of walls or fences for a development. Fencing should be considered for southernmost and westernmost property lines. The city will be acquiring a waterline easement 5 feet for easternmost lot line o lot 8, and a 5 feet easement for westernmost property line of lot. This would allow for the waterline to be looped and, if fenced, a pedestrian access to the multi-use pathway on Wilson Rd. and to the schools.

This application is consistent with the provisions of Chapter 3.2.

## **CHAPTER 3.3 – VEHICLE AND BICYCLE PARKING**

Chapter 3.3 of the BDC provides required parking for a development and the methodology for computing these requirements. Two off street parking spaces for each living unit is required. Multi-Family Residences shall refer to BDC §3.3.400(1) for bicycle parking requirements.

This application is consistent with the provisions od Chapter 3.3.

## **CHAPTER 3.4 – PUBLIC FACILITIES STANDARDS**

Chapter 3.4 of the BDC is the requirements for connection to city services, such as water, wastewater, stormwater, and the coordination with other utilities. As previously mentioned under fences, the city will be acquiring a waterline easement 5 feet for easternmost lot line o lot 8, and a 5 feet easement for westernmost property line of lot. This would allow for the waterline to be looped and, if fenced, a pedestrian access to the multi-use pathway on Wilson Rd. and to the schools.

This application is consistent with the provisions of Chapter 3.4.

## **CHAPTER 4.10 – TRAFFIC IMPACT STUDY**

Chapter 4.10 provides the conditions and methodology for when a traffic impact study must be performed to service a development. In accordance with BDC §4.10.100(B) the calculated Average Daily Trips (ADT) of 5 per apartment/multi-family unit 300 ADT would not trigger the need for a traffic impact study

This application is consistent with provisions of Chapter 4.10.

## **COMPREHENSIVE PLAN GOALS**

### **GOAL 1 – CITIZEN INVOLVEMENT**

The City of Boardman has posted the property, published in the East Oregonian, and mailed to all required and interested parties, public notice on this request on three separate occasions. First Notice May 4, 2021, for which this staff report is being prepared for hearing on May 26, 2021.

This application has met all of the policies in Chapter 1 of the Comprehensive Plan.

### **GOAL 2 – LAND USE PLANNING**

This application is within the policies of Chapter 2 of the Comprehensive Plan.

### **GOAL 3 – AGRICULTURAL LANDS**

This Chapter does not apply to the City of Boardman.

### **GOAL 4 – FOREST LANDS**

This Chapter does not apply to the City of Boardman.

### **GOAL 5 – NATURAL RESOURCES, SCENIC AND HISTORICAL AREAS, AND OPEN SPACES**

There are no Goal 5 resources identified on this property.

This application is within the policies of Chapter 5 of the Comprehensive Plan.

### **GOAL 6 - AIR, WATER AND LAND RESOURCES QUALITY**

This application is within the policies of Chapter 6 of the Comprehensive Plan.

### **GOAL 7 - AREAS SUBJECT TO NATURAL HAZARDS**

There are no identified natural hazards or policies within the City of Boardman.

### **GOAL 8 – RECREATIONAL NEEDS**

This application is within the policies of Chapter 8 of the Comprehensive Plan.

### **GOAL 9 – ECONOMIC DEVELOPMENT**

This application is well aligned with the policies of Chapter 9 of the Comprehensive Plan.

### **GOAL 10 - HOUSING**

This application is within the policies of Chapter 10 of the Comprehensive Plan.



## **GOAL 11 – PUBLIC FACILITIES AND SERVICES**

This application is within the policies of Chapter 11 of the Comprehensive Plan.

## **GOAL 12 - TRANSPORTATION**

This application is within the policies of Chapter 12 of the Comprehensive Plan.

## **GOAL 13 – ENERGY CONSERVATION**

This application is within the policies of Chapter 13 of the Comprehensive Plan.

## **GOAL 14 - URBANIZATION**

This application is well aligned with the policies in Chapter 14 of the Comprehensive Plan.

## **GOAL 15-19**

Goals 15-19 do not apply to the City of Boardman.

## **FINDINGS OF FACT**

- 1) Public Notice was posted, published in the East Oregonian and mailed to all required and interested parties on May 4, 2021, for a May 26, 2021, Public Hearing.
- 2) This application is consistent with and will be subject to Chapter 3.1 – Access and Circulation upon development.
- 3) This application is consistent with and will be subject to Chapter 3.2 – Landscaping, Street Trees, Fences and Walls upon development.
- 4) This application is consistent with and will be subject to Chapter 3.3 – Vehicle and Bicycle Parking upon development.
- 5) This application is consistent with and will be subject to Chapter 3.4 – Public Facilities Standards upon development.
- 6) This application is consistent with and will be subject to Chapter 4.10 – Traffic Impact Study upon development.
- 7) This application is consistent with Chapter 1 of the Boardman Comprehensive Plan.
- 8) This application is consistent with Chapter 2 of the Boardman Comprehensive Plan.
- 9) Chapter 3 of the Boardman Comprehensive Plan is not applicable.
- 10) Chapter 4 of the Boardman Comprehensive Plan is not applicable.
- 11) This application is consistent with Chapter 5 of the Boardman Comprehensive Plan.

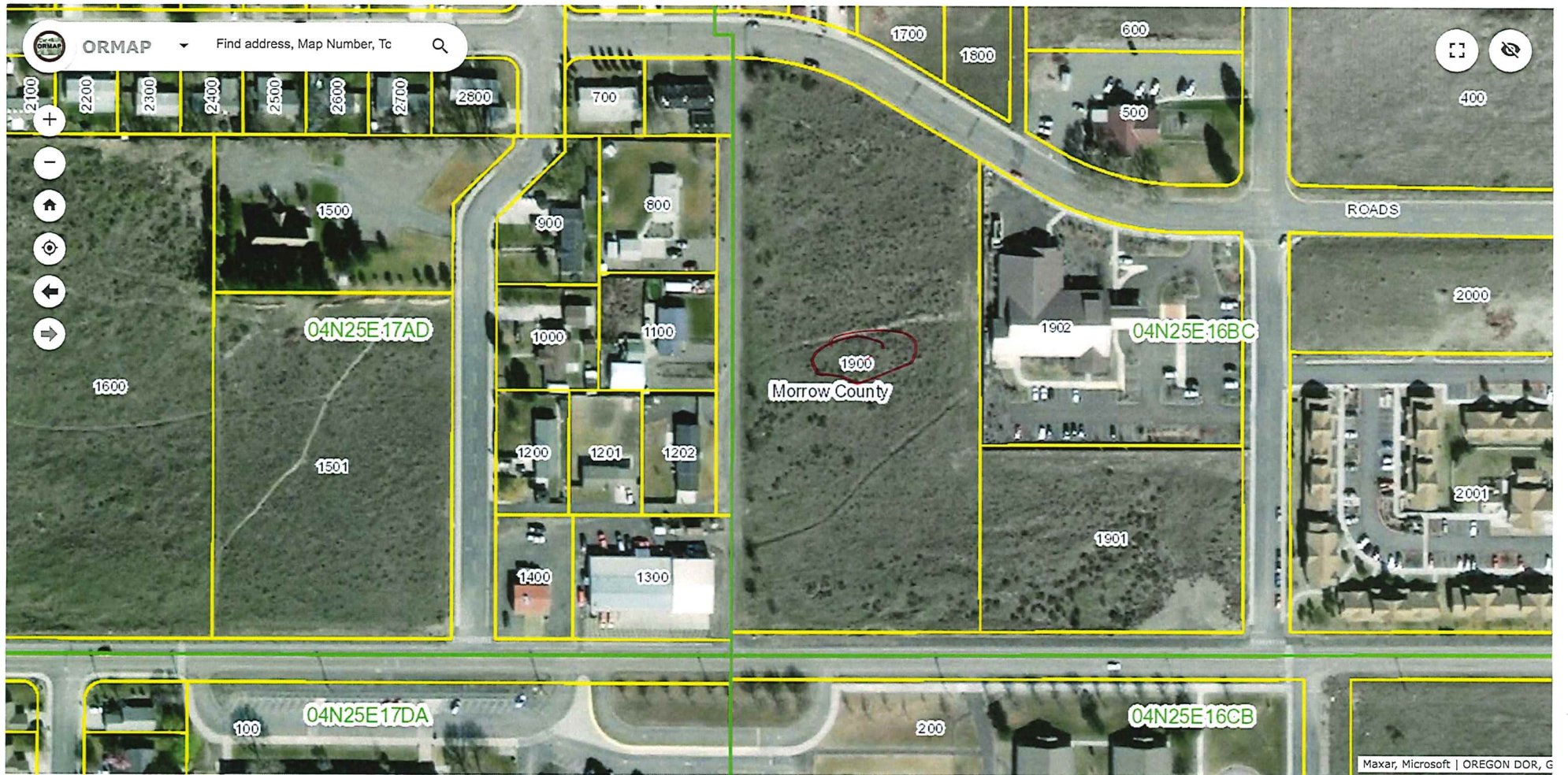
- 12) This application is consistent with Chapter 6 of the Boardman Comprehensive Plan.
- 13) There are no identified Natural Hazards in Chapter 7 of the Boardman Comprehensive Plan.
- 14) This application is consistent with Chapter 8 of the Boardman Comprehensive Plan.
- 15) This application is consistent with Chapter 9 of the Boardman Comprehensive Plan.
- 16) This application is consistent with Chapter 10 of the Boardman Comprehensive Plan.
- 17) This application is consistent with Chapter 11 of the Boardman Comprehensive Plan.
- 18) This application is consistent with Chapter 12 of the Boardman Comprehensive Plan.
- 19) This application is consistent with Chapter 13 of the Boardman Comprehensive Plan.
- 20) This application is consistent with Chapter 14 of the Boardman Comprehensive Plan.
- 21) Chapters 15-19 are not applicable to the City of Boardman.
- 22) Staff has received two phone calls from Gary Dolar concerning the access easement to his house remain intact.
- 23) The City of Boardman owns the access easement and has made provisions obtain additional easement to allow for deliveries off said access

## **SUMMARY**

This application is for a subdivision of a large, Multi-Family zoned, 5.01-acre parcel. The one parcel will be subdivided into 15 lots averaging 11,904.48 square feet in size.

## **LIST OF ATTACHMENTS**

Initial Application  
Public Notices Posted and Published  
Tax Lot Map



-119.706 45.830 Degrees

40m  
100ft

< >



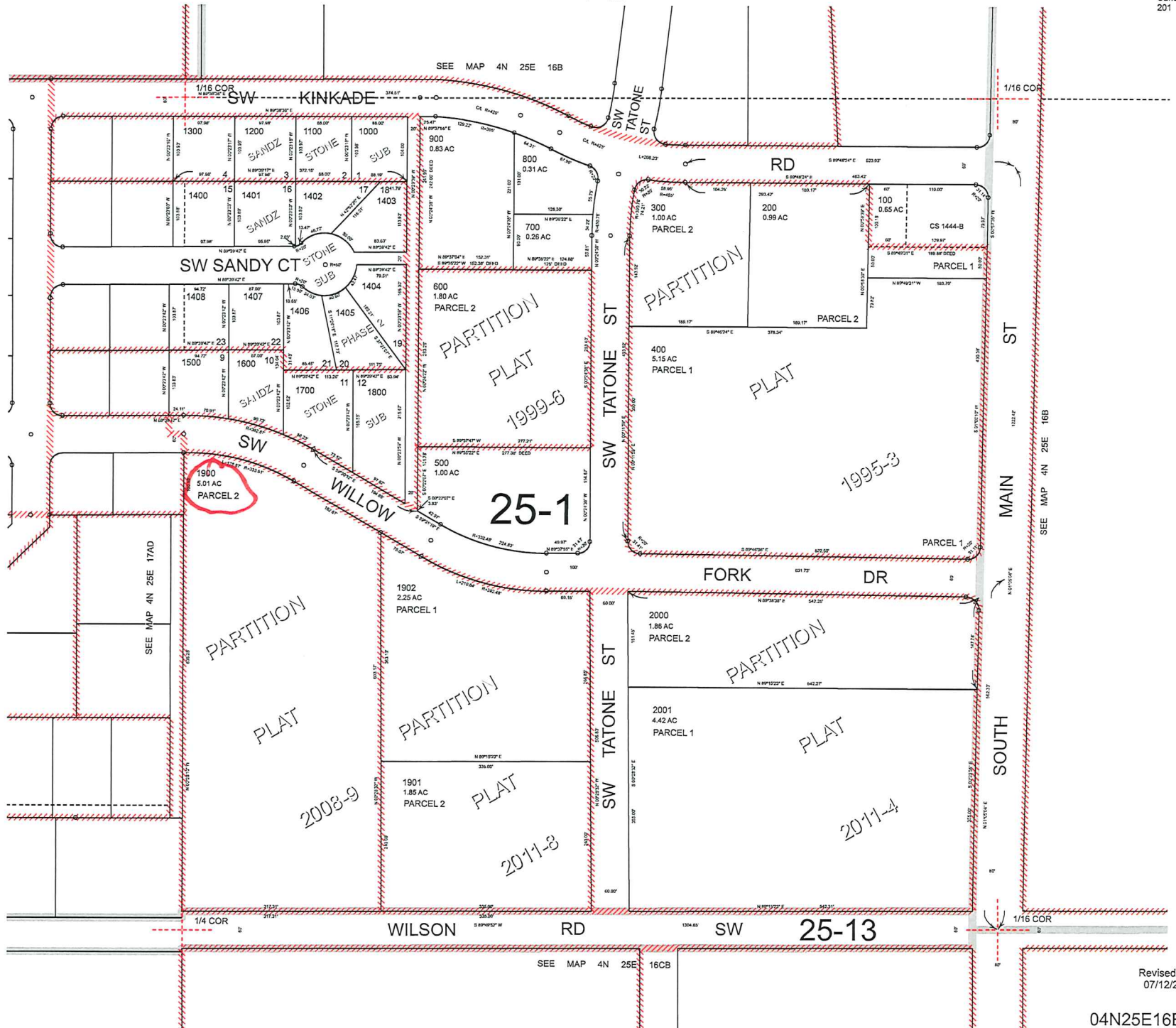
THIS MAP WAS PREPARED FOR  
ASSESSMENT PURPOSE ONLY

0 50 100 150 200 Feet

S.W.1/4 N.W.1/4 SEC.16 T.4N. R.25E. W.M.  
MORROW COUNTY  
1" = 100'

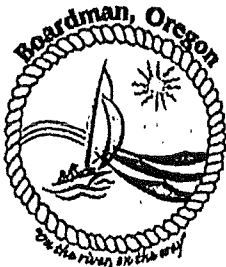
04N25E16BC

Cancelled  
201



Revised: EB  
07/12/2018

04N25E16BC



# City of Boardman Land Use Application

Date: 4/21/21

Owner: RAMANDEEP S MALHI Phone: (360) 201-8071  
Address: 8804 W 5TH AVE City: Kennewick State: WA Zip: 99336  
Applicant or Agent: RAMANDEEP S MALHI Phone: (360) 201-8071  
Address: 8804 W 5TH AVE City: Kennewick State: WA Zip: 99336  
Property Address: 202 WILLOW FORK DRIVE Designed Zone: MULTIFAMILY  
Map Number: 4N25E16BC Lot: \_\_\_\_\_ Block: \_\_\_\_\_  
Subdivision: MULTIFAMILY Tax Lot(s): #1900  
Proposed Usage: MULTIFAMILY  
PARTITION PLOT 2008-9

Estimated Construction Cost Evaluation: \$ 300000.00 Total Square Footage: 216500

Requested Action:

(Please circle one)

Zone Change      Variance      Conditional Use Permit      Property Line Adjustment  
Partition      Subdivision      Preliminary Plat      Other: \_\_\_\_\_

The following material and supplemental information must be submitted with this application as a requirement for submittal to the Planning Commission:

- Plans and specifications, drawn to scale, showing the actual shape, setbacks and dimensions of the property to be used, together with a plot plan and vicinity map of the subject property.
- The size and location of the property, buildings, other structures; and use of buildings or structures, existing and proposed.
- Plot plan indicating all on/off-site improvements, including streets, fire hydrants, water and sewer facilities, etc.

I acknowledge that I am familiar with the standards and limitations set forth by the City of Boardman Zoning Ordinance, and that additional information and materials may be required. I fully intend to comply with plans and specifications submitted with this application. I do hereby certify that the above information is correct and understand that issuance of a permit based on this application will not excuse me from complying with the effective Ordinances and Resolutions of the City of Boardman and Statutes of Oregon, despite any errors on the party of the issuing authority in checking this application.

Signature: Raman Malhi Date: 4/19/21  
(Owner, Applicant, or Agent)

Staff Comments: \_\_\_\_\_

Recommended Action: \_\_\_\_\_

Planning Commission:

Approved

Not Approved

Date: \_\_\_\_\_

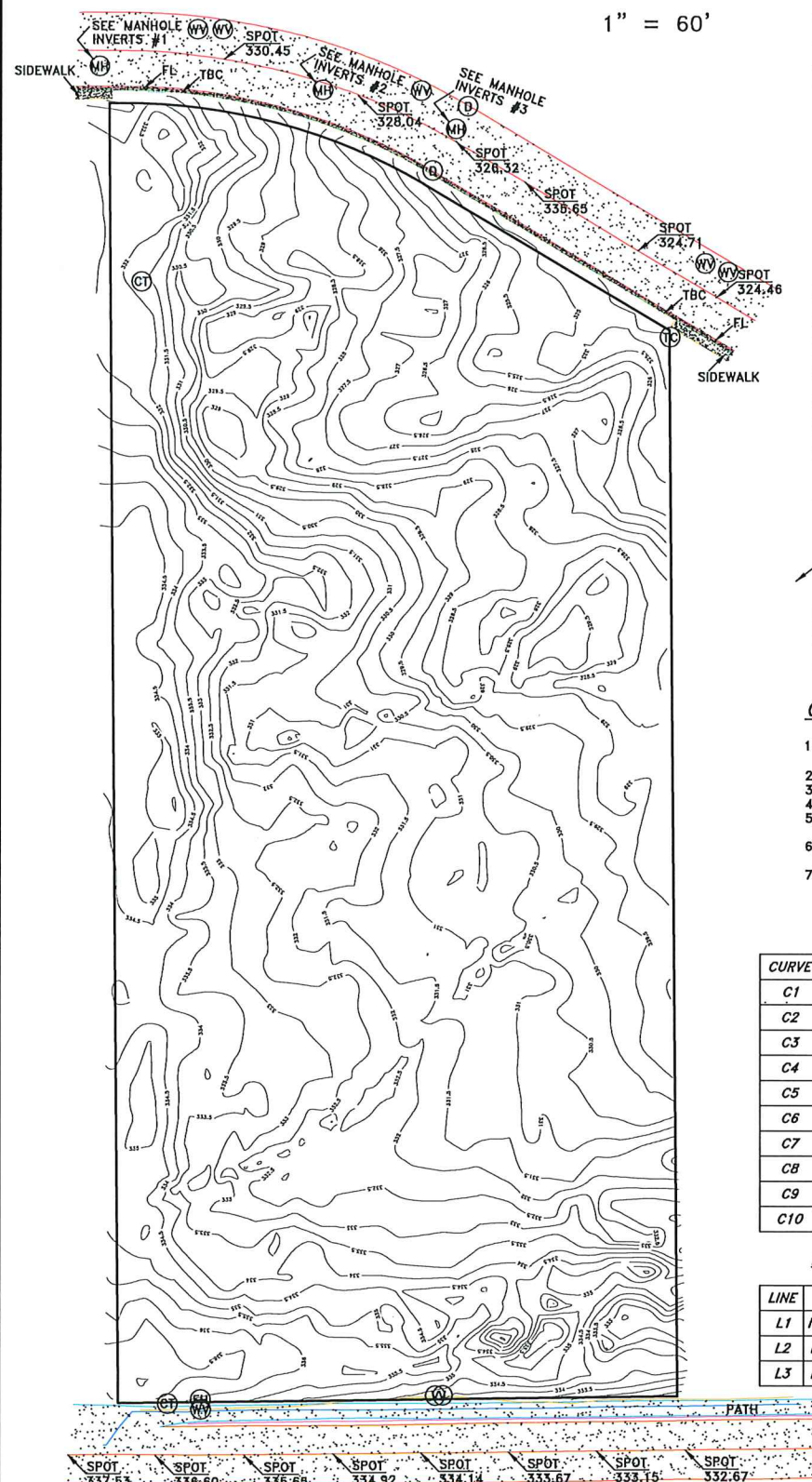
Signature: \_\_\_\_\_



# SITE SURVEY

ON A PROPOSED SUBDIVISION SURVEY ON PROPERTY LOCATED IN THE NW 1/4 SEC. 16, TWP. 4 N., RNG. 25 E.W.M., MORROW COUNTY, OREGON.

CLIENT: RAMANDEEP S. MALHI  
R&R 2019 INVESTMENT LLC  
8804 W 5TH STREET  
KENNEWICK, WASHINGTON 99336



## LEGEND

- SET 5/8"x30" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "PLS LS 48509"
- ⊙ FOUND 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "GBW 02817LS"
- FOUND 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "L.S. #2431"
- FOUND 5/8" IRON ROD
- ⊙ FOUND R&R SPIKE
- EXTERIOR BOUNDARY
- INTERIOR LOT LINES
- 20' ACCESS EASEMENT
- 10' UTILITY EASEMENT
- DRIVE & LAKE
- EDGE OF ASPHALT ROAD
- EDGE OF GRAVEL ROAD
- UG BLUE
- UG ORANGE
- EDGE OF ASPHALT ROAD
- EDGE OF ASPHALT PATH
- Ⓢ FIRE HYDRANT
- Ⓢ CABLE TV VAULT
- Ⓢ WATER VALVE
- Ⓢ TELE COM
- Ⓢ DRAIN
- Ⓢ VAULT
- Ⓢ MANHOLE
- Ⓢ FLOWLINE
- Ⓢ TOP BACK CURB
- Ⓢ PATH PEDESTRIAN PATH
- SPOT XX.XX SPOT ELEVATION AT TOP ± 0.5' OF ASPHALT SURFACE

## GENERAL NOTES

1. THE PROPERTY IS DESCRIBED ON INSTRUMENT NO. 2019-45636 LOCATED IN MORROW COUNTY DEED RECORDS.
2. THE EXTERIOR PROPERTY BOUNDARIES CONTAINS +/- 5.005 ACRES.
3. THE HORIZONTAL DATUM IS LOCAL ONLY.
4. THE VERTICAL DATUM IS NAVD 88.
5. THE PROPERTY IS GENERALLY NATIVE VEGETATION WITH MINIMUM GRADE BREAKS.
6. THE PROPERTY IS BOUNDED ON THE NORTH BY WILLOW FORK DRIVE AND ON THE SOUTH BY WILSON LANE.
7. CONTOUR LINES AS SHOWN ARE AT 0.5 FOOT INTERVALS.

## CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	20°08'22"	333.507'	117.228'	S 80°15'57" E	116.625'
C2	69°43'26"	10.000'	12.169'	S 35°20'04" E	11.432'
C3	120°52'00"	10.000'	21.095'	N 59°57'39" E	17.396'
C4	50°25'33"	10.000'	8.800'	S 24°44'36" W	8.520'
C5	68°52'00"	50.000'	60.097'	S 12°49'38" W	56.544'
C6	68°52'00"	50.000'	60.097'	S 56°02'21" E	56.544'
C7	68°52'00"	50.000'	60.097'	N 55°05'39" E	56.544'
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C9	50°25'33"	10.000'	8.800'	N 25°41'18" W	8.520'
C10	(30°43'46")	(333.510')	(178.870')	(N 74°58'14" W)	(176.740')

## LINE TABLE

LINE	BEARING	LENGTH
L1	N 89°39'53" E	7.30'
L2	N 0°28'21" W	15.00'
L3	N 0°28'21" W	15.00'

## AREA TABLE

DESC.	SQ. FEET	ACRES
PARENT	218,034.31	5.005
STREET	39,467.04	0.906
LOTS 1-15	178,567.27	4.099

## SURVEYOR'S NARRATIVE

THIS SURVEY WAS UNDERTAKEN IN APRIL OF 2021 AT THE REQUEST OF RAMANDEEP S. MALHI, SOLE MEMBER OF R&R 2019 INVESTMENT LLC. THE PURPOSE OF THE SURVEY IS TO PERFORM A SUBDIVISION SURVEY ON PROPERTY AS DESCRIBED ON MORROW COUNTY INSTRUMENT NO. 2019-45636.

SAID INSTRUMENT NO. 2019-45636 STATES THE FOLLOWING:

Parcel 2 of PARTITION PLAT 2008-09, In the City of Boardman, County of Morrow and State of Oregon.

THE EXTERIOR BOUNDS OF THE PARENT PARCEL HAVE BEEN ESTABLISHED AS FOLLOWS:

THE NORTH LINE WAS ESTABLISHED FROM THE FOUND MONUMENTS ON THE SOUTHERLY RIGHT OF WAY LINE OF WILLOW FORK DRIVE AS CALLED FOR IN PARTITION PLAT 2008-09, MARKING THE NORTHWESTERLY CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09 AND THE NORTHEASTERLY CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09 ALSO BEING THE NORTHWESTERLY CORNER OF PARCEL 1 OF PARTITION PLAT 2011-08.

THE SOUTH LINE WAS ESTABLISHED FROM THE FOUND MONUMENTS ON THE NORTHERLY RIGHT OF WAY LINE OF WILSON LANE AS CALLED FOR IN PARTITION PLAT 2008-09, MARKING THE SOUTHWESTERLY CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09 AND THE SOUTHEASTERLY CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09 ALSO BEING THE SOUTHWESTERLY CORNER OF PARCEL 2 OF PARTITION PLAT 2011-08.

THE EAST LINE WAS ESTABLISHED FROM THE FOUND MONUMENT ON THE SOUTHERLY RIGHT OF WAY LINE OF WILLOW FORK DRIVE AT THE NORTHEAST CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09 ALSO THE NORTHWEST CORNER OF PARCEL 1 OF PARTITION PLAT 2011-08, AND THE FOUND MONUMENT ON THE NORTHERLY RIGHT OF WAY LINE OF WILSON LANE AT THE SOUTHEAST CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09 ALSO THE SOUTHWEST CORNER OF PARCEL 2 OF PARTITION PLAT 2011-08.

THE WEST LINE WAS ESTABLISHED FROM THE FOUND MONUMENT ON THE SOUTHERLY RIGHT OF WAY LINE OF WILLOW FORK DRIVE AT THE NORTHWEST CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09, AND THE FOUND MONUMENT ON THE NORTHERLY RIGHT OF WAY LINE OF WILSON LANE AT THE SOUTHWEST CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09.

THE FEATURES AS SHOWN UPON THIS SITE SURVEY HAVE BEEN MAPPED OVER A 4 DAY PERIOD IN EARLY APRIL OF 2021.

THE BASIS OF BEARING OF THIS SURVEY ARE THE FOUND R&R SPIKE MARKING THE WEST 1/4 CORNER FOR SECTION 16 AND THE FOUND R&R SPIKE MARKING THE CENTER-WEST 1/16 CORNER FOR SECTION 16 AND IS BASED ON PARTITION PLAT 2008-09

THIS SURVEY WAS ACCOMPLISHED UTILIZING 2 TRIMBLE R-10 GNSS RECEIVERS. AN AUTONOMOUS POSITION WAS GENERATED ON THE BASE UNIT AND THE TWO PREVIOUSLY MENTIONED FOUND RECTANGULAR CORNERS WERE SUBSEQUENTLY USED FOR LOCALIZING THE SYSTEM, EACH CORNER WAS THEN LOCATED OR SET ON A 15 SECOND EPOCH WITH A FIXED SOLUTION.

## SURVEYOR'S CERTIFICATION

I, BRIT L. PRIMM, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF OREGON HEREBY CERTIFY THAT THIS MAP CORRECTLY REPRESENTS A SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION IN APRIL 2021, IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING LAW, AS ESTABLISHED BY ORS CHAPTER 92. ALL FEATURES AS SHOWN HAVE BEEN PERSONALLY MAPPED BY MYSELF OVER A 3 DAY PERIOD IN APRIL OF 2021.

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

OREGON  
JULY 13, 1999  
BRIT L. PRIMM  
48509

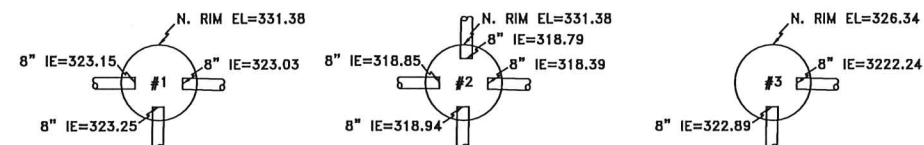
EXPIRATION DATE: 12/31/22

DATE: \_\_\_\_\_

## UTILITY STATEMENT

THE UNDERGROUND UTILITIES AS SHOWN UPON THIS PLAT HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION BY THIS FIRM. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES AS SHOWN COMPRISE ALL SUCH UTILITIES IN THE GENERAL AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION PROVIDED FROM LOCATING COMPANIES, PAINTED LINES. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

## MANHOLE INVERTS



PRIMM LAND SURVEYING, INC.

P.O. BOX 1322, 1340 N.E. 4TH  
HERMISTON, OR 97838  
BUI (541) 564-7887  
FAX (541) 567-8020  
brit@primmlandsurveying.com  
keith@primmlandsurveying.com

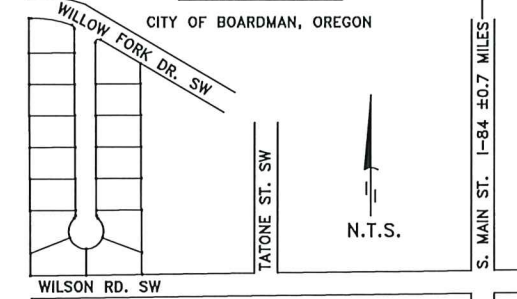
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NW 1/4, SEC 16, TWP. 4 N. RNG. 25 E. WM

PROJECT:  
A SITE SURVEY ON PROPERTY LOCATED IN  
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25 E.W.M., MORROW COUNTY, OREGON.

JOB #: 2104001  
DATE: 05 APR 21  
FB/PG: 043/19  
SHEET: 1 OF 1  
DRAWN: BLP  
APPROVED: BLP

## VICINITY MAP

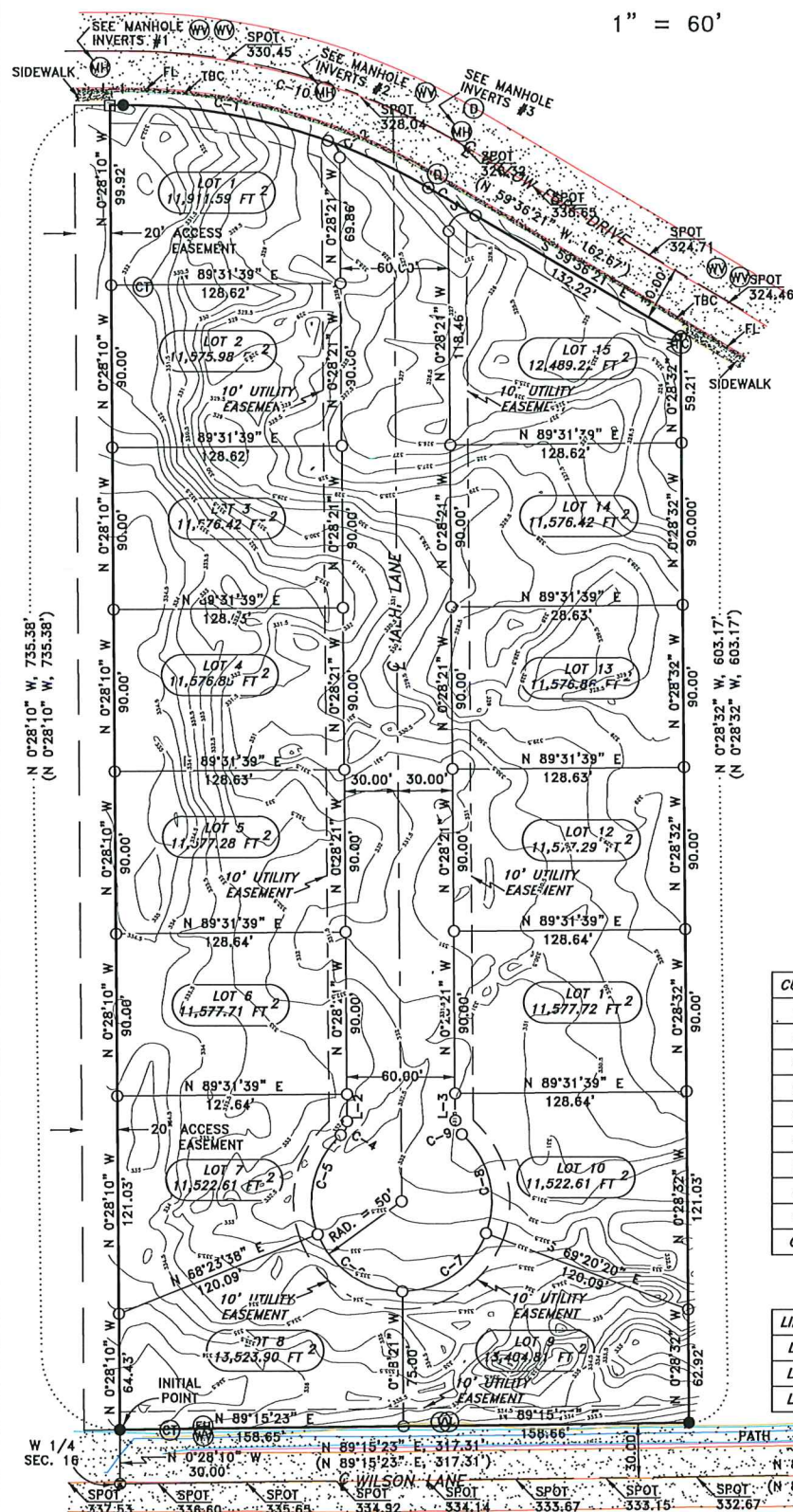
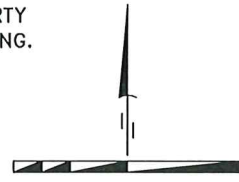




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- ⊕ FLOWLINE
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- SPOT XX.XX SPOT ELEVATION AT TOP ± OF ASPHALT SURFACE
- ASPHALT AREA
- CONCRETE AREA

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THE NORTH LINE WAS ESTABLISHED FROM THE FOUND MONUMENTS ON THE SOUTHERLY RIGHT OF WAY LINE OF WILLOW FORK DRIVE AS CALLED FOR IN PARTITION PLAT 2008-09, MARKING THE NORTHWESTERLY CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09 AND THE NORTHEASTERLY CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09 ALSO BEING THE NORTHWESTERLY CORNER OF PARCEL 1 OF PARTITION PLAT 2011-08.

THE SOUTH LINE WAS ESTABLISHED FROM THE FOUND MONUMENTS ON THE NORTHERLY RIGHT OF WAY LINE OF WILSON LANE AS CALLED FOR IN PARTITION PLAT 2008-09, MARKING THE SOUTHWESTERLY CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09 AND THE SOUTHEASTERLY CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09 ALSO BEING THE SOUTHWESTERLY CORNER OF PARCEL 2 OF PARTITION PLAT 2011-08.

THE EAST LINE WAS ESTABLISHED FROM THE FOUND MONUMENT ON THE SOUTHERLY RIGHT OF WAY LINE OF WILLOW FORK DRIVE AT THE NORTHEAST CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09 ALSO THE NORTHWEST CORNER OF PARCEL 1 OF PARTITION PLAT 2011-08, AND THE FOUND MONUMENT ON THE NORTHERLY RIGHT OF WAY LINE OF WILSON LANE AT THE SOUTHEAST CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09 ALSO THE SOUTHWEST CORNER OF PARCEL 2 OF PARTITION PLAT 2011-08.

THE WEST LINE WAS ESTABLISHED FROM THE FOUND MONUMENT ON THE SOUTHERLY RIGHT OF WAY LINE OF WILLOW FORK DRIVE AT THE NORTHWEST CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09, AND THE FOUND MONUMENT ON THE NORTHERLY RIGHT OF WAY LINE OF WILSON LANE AT THE SOUTHWEST CORNER OF PARCEL 2 OF PARTITION PLAT 2008-09.

THE FEATURES AS SHOWN UPON THIS SITE SURVEY HAVE BEEN MAPPED OVER A 4 DAY PERIOD IN EARLY APRIL OF 2021.

THE BASIS OF BEARING OF THIS SURVEY ARE THE FOUND R&R SPIKE MARKING THE WEST 1/4 CORNER FOR SECTION 16 AND THE FOUND R&R SPIKE MARKING THE CENTER-WEST 1/16 CORNER FOR SECTION 16 AND IS BASED ON PARTITION PLAT 2008-09

THIS SURVEY WAS ACCOMPLISHED UTILIZING 2 TRIMBLE R-10 GNSS RECEIVERS. AN AUTONOMOUS POSITION WAS GENERATED ON THE BASE UNIT AND THE TWO PREVIOUSLY MENTIONED FOUND RECTANGULAR CORNERS WERE SUBSEQUENTLY USED FOR LOCALIZING THE SYSTEM, EACH CORNER WAS THEN LOCATED OR SET ON A 15 SECOND EPOCH WITH A FIXED SOLUTION.

## SURVEYOR'S CERTIFICATION

I, BRIT L. PRIMM, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF OREGON HEREBY CERTIFY THAT THIS MAP CORRECTLY REPRESENTS A SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION IN APRIL 2021, IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING LAW, AS ESTABLISHED BY ORS CHAPTER 92. ALL FEATURES AS SHOWN HAVE BEEN PERSONALLY MAPPED BY MYSELF OVER A 3 DAY PERIOD IN APRIL OF 2021.

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

OREGON  
JULY 13, 1999  
BRIT L. PRIMM  
48509

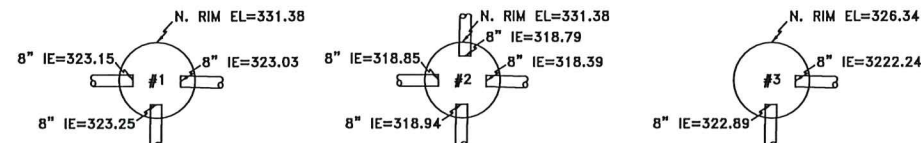
EXPIRATION DATE: 12/31/22

DATE: \_\_\_\_\_

## UTILITY STATEMENT

THE UNDERGROUND UTILITIES AS SHOWN UPON THIS PLAT HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION BY THIS FIRM. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES AS SHOWN COMPRISE ALL SUCH UTILITIES IN THE GENERAL AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION PROVIDED FROM LOCATING COMPANIES, PAINTED LINES. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

## MANHOLE INVERTS



PRIMM LAND SURVEYING, INC.



P.O. BOX 1322, 1340 N.E. 4TH  
HERMISTON, OR 97838  
BUI (541) 564-7887  
FAX (541) 567-8020  
brl@primmlandsurveying.com  
kelth@primmlandsurveying.com

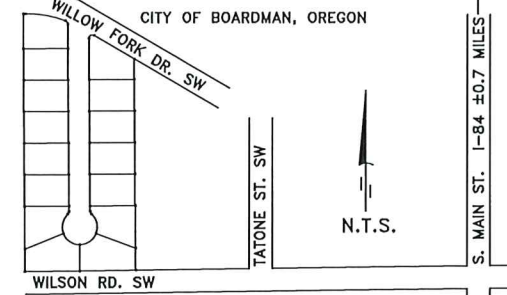
CLIENT: RAMANDEEP S. MALHI

NW 1/4, SEC 16, TWP. 4 N. RNG. 25 E. WM

PROJECT:  
A SITE SURVEY ON PROPERTY LOCATED IN  
THE NW 1/4 SEC. 16, TWP. 4 N., RNG.  
25 E.W.M., MORROW COUNTY, OREGON.

JOB #: 2104001  
DATE: 05 APR 21  
FB/PG: 043/19  
SHEET: 1 OF 1  
DRAWN: BLP  
APPROVED: BLP

## VICINITY MAP



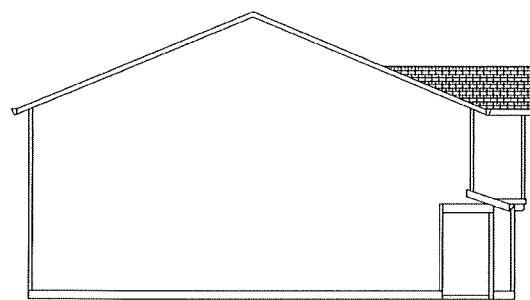




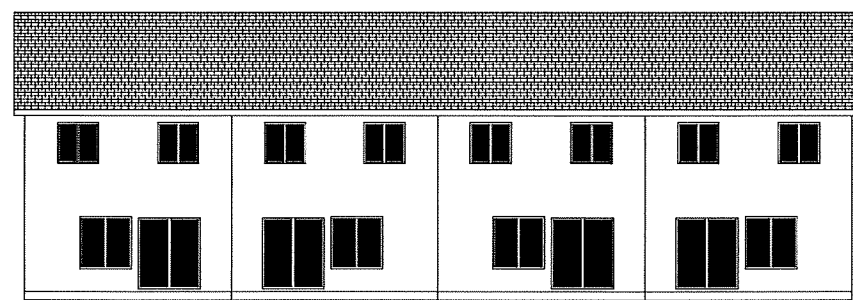




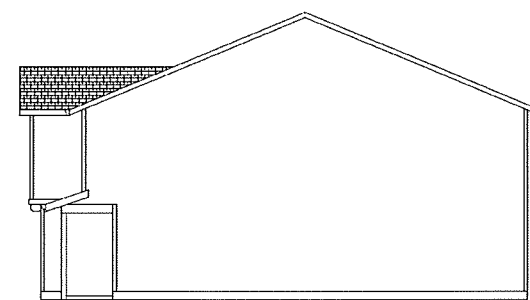
FRONT ELEVATION  
SCALE 1/4"=1'-0"



LEFT SIDE ELEVATION  
SCALE 1/8"=1'-0"



REAR ELEVATION  
SCALE 1/8"=1'-0"



RIGHT SIDE ELEVATION  
SCALE 1/8"=1'-0"

DesignNW<sup>™</sup>  
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HANES-ZOLLER JV  
CIMMARON TERRACE TOWNHOUSES  
LOTS #53-56  
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ORIG	01-19-12	GW
REV	02-23-12	TC
REV	11-16-12	TC
REV	05-22-13	GW

PLAN  
B13  
4-PLEX

—

**MIN. LOADS**  
FLOOR:  
LIVE 40<sup>lbs</sup>. PSF  
DEAD 10<sup>lbs</sup>. PSF  
ROOF:  
LIVE 25<sup>lbs</sup>. PSF

DECKS  
LIVE 40% PSF  
DEAD 20% PSF

GENERAL CODE  
HALLWAYS MIN. WIDTH SHALL BE NOT  
LESS THAN 36 INCHES.

SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND CENTRALLY LOCATED IN ADJACENT CORRIDOR. SMOKE DETECTORS SHALL BE INSTALLED ON EACH FLOOR LEVEL AND IN BASEMENTS. DETECTORS SHALL SOUND ALARM AUDIBLE IN ALL SLEEPING AREAS AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND INTERCONNECTED AND HARD WIRED.

GOVERNING DESIGN CODE:  
2017 IRC INTERNATIONAL BUILDING CODE  
2018 OESC INTERNATIONAL RESIDENTIAL CODE

ALL DETAILS ARE TYPICAL  
OF EACH SIDE OF LINE

ALL DETAILS ARE TYPICAL  
OF EACH SIDE OF LINE

ALL DETAILS ARE TYPICAL  
OF EACH SIDE OF LINE

ALL DETAILS ARE TYPICAL  
OF EACH SIDE OF LINE

ALL DETAILS ARE TYPICAL  
OF EACH SIDE OF LINE

ALL DETAILS ARE TYPICAL  
OF EACH SIDE OF LINE

AREA	1ST FLOOR	634 SF
	2ND FLOOR	879 SF
TOTAL		1513 SF

LOT #53

FLOOR PLAN  
SCALE 1/4"=1'-0"



HANES-ZOLLER JV  
GIMMARON TERRACE TOWNHOUSES  
LOTS #53-56

\_\_\_\_\_

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ORIG	01-19-12	GW
REV	08-23-16	TC
REV	1-16-16	TC
REV	5-22-18	GW

PLAZA 1513  
4-PLEX

2

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**FRAMING LINDER**  
LINDER SPECIES: DOUGLAS FIR-LARCH GRADE LINDER  
LINDER GRADES: EXTERIOR WALL STUDS NO. 2 OR BETTER  
INTERIOR NON-BEARING WALL STUDS: STANDARD OR BETTER  
INTERIOR BEARING WALL STUDS: NO. 2 OR BETTER  
JOISTS: NO. 2 OR BETTER  
DECKING: NO. 2 OR BETTER UNLESS NOTED ON PLAN  
POSTS: NO. 2 OR BETTER UNLESS NOTED ON PLAN  
DROPPINGS: STANDARD OR BETTER  
SOLID DROPPINGS USE SAME DEPTH AS MEMBERS  
ANY WOOD IN CONTACT WITH CONCRETE MUST BE PRESERVE TREATED (PER IRC R327.1.1)

**GLUE LAMINATED MEMBERS**  
MEMBER SPECIES: USE WESTERN  
MEMBER GRADE: 1000L, MULTIPLE SPAN OR CANTILEVERED  
SPANS USE 24F-V4  
MATERIAL STANDARDS: ARCHITECTURAL GRADE APPEARANCE  
DO NOT USE 24F-V4 UNLESS NOTED & APPROVED BY A QUALIFIED SUPPLIER OR STRUCTURAL ENGINEER  
GLULAM COLLATIONS: USE COMBINATION #3 OF

**PLYWOOD SHEATHING**  
ROOF SHEATHING: 7/16" MIN INDEX 32/24  
FLOOR SHEATHING: 5/8" MIN INDEX 48/24 T&G  
WALL SHEATHING: 7/16" MIN INDEX 32/0

**ENGINEERED WOOD PRODUCTS MUST CONFORM WITH ALL APPLICABLE PROVISIONS OF THE IRC**

**WOOD PRODUCT MANUFACTURERS:**  
TRUSS JOIST: 11.8 SERIES JOIST OR  
DOSE ENGINEERING: 2011 SERIES JOISTS

**ASSEMBLIES AND HANGERS, AS REQUIRED TO PROVIDE A COMPLETE FLOOR OR ROOF STRUCTURAL SYSTEM PER I-JOIST MANUF.**

**RIM BOARD:**  
1 1/4" WIDE, 1 1/2" GRADE UNLESS NOTED ON PLANS  
OR APPROVED BY JOIST SUPPLIER OR STRUCTURAL ENGINEER

**BEARING REQUIREMENTS FOR MECHANICAL UNITS:**  
JOIST SUPPLIER AND CONTRACTOR TO DOUBLE ALL JOISTS  
MEMBERS UNDER MECH UNITS, UNLESS NOTED OTHERWISE  
DO NOT NOTCH OR DRILL STRUCTURAL MEMBERS,  
EXCEPT AS APPROVED BY THE STRUCTURAL ENGINEER

**DOORS:**  
DOORS TO BE DETERMINED BY OWNER/BUILDER

**GARAGE / DWELLING SEPARATION:**  
ON THE GARAGE SIDE OF WALLS AND CEILING WITH A MIN  
1/2" GIB AND 5/8" TYPE "X" GIB AT CEILING WITH HABITABLE  
ROOMS ABOVE

**INSULATION R-VALUES:**  
2x4 WALLS: R-13 MIN 2x6 WALLS: R-21 MIN  
ROOF CAVITIES: R-49 MIN  
VAULTED ROOF CAVITIES: R-30 MIN  
UNDER SLAB: R-10 MIN 24" HORIZONTAL LENGTH MIN  
INSULATION DRAFFED AT VENTS (PER IRC I203.2)  
FLOOR CAVITIES: R-30 MIN  
WITH 1" MIN JOE SPACE FOR VENTING (PER IRC I203.2)

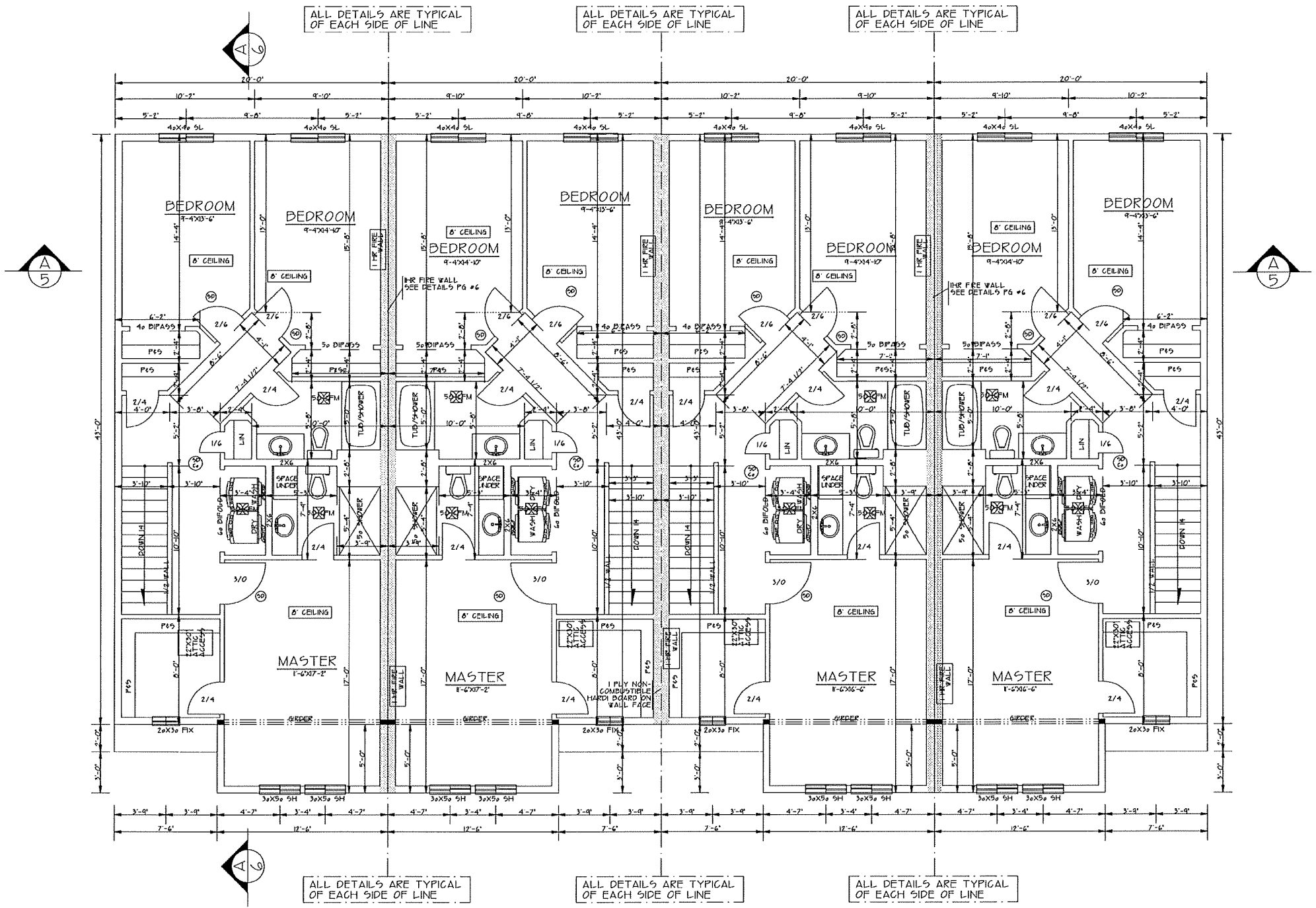
**GRAVEL SPACE:**  
12" MIN CLEARANCE FROM GRADE TO BOTTOM OF FLOOR JOIST  
AND MIN 12" CLEARANCE TO BOTTOM OF GIRDERS OR DEAMS  
IN THE GRAVEL SPACE

**ROOF:**  
COMPOSITION ROOF: SHINGLES MUST  
BE A MINIMUM OF 30-YEAR ON 54"  
FELT ON 1/2" MIN 7/16" SHEATHING ON MANUF TRUSS  
OR RAFTERS 24" O/C  
SECTION ROOF: 603 L 905 USE SHIPSON 25 7/8 CLP  
ON EACH TRUSS OR RAFTER

**ATTIC VENTILATION:**  
ATTIC VENTILATION MUST BE 1/6004 OF  
THE ATTIC AREA OR UNOON OF ATTIC AREA  
F AT LEAST 50 PERCENT BUT NOT MORE  
THAN 80 PERCENT OF THE REQUIRED VENTILATION  
IS 3 FEET ABOVE THE EAVE OR CORNE VENTS  
OR PROVIDE A MORTURE BARBER ON THE  
WARM SIDE OF THE CEILING OVER ROOF

**OVERHANGS:**  
OVERHANGS ARE TO BE DETERMINED BY OWNER/BUILDER

**GUTTERS:**  
GUTTERS ARE TO BE DETERMINED BY OWNER/BUILDER



LOT #56

LOT #55

LOT #54

LOT #53

REFER TO ENGINEERING SHEETS FOR SPECS IF LATERAL  
ENGINEERING IS REQUIRED ACCORDING TO LOCAL BUILDING  
CODES AND/OR ZONING REGULATIONS.

2ND FLOOR PLAN  
SCALE 1/4"=1'-0"

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LOTS #53-56  
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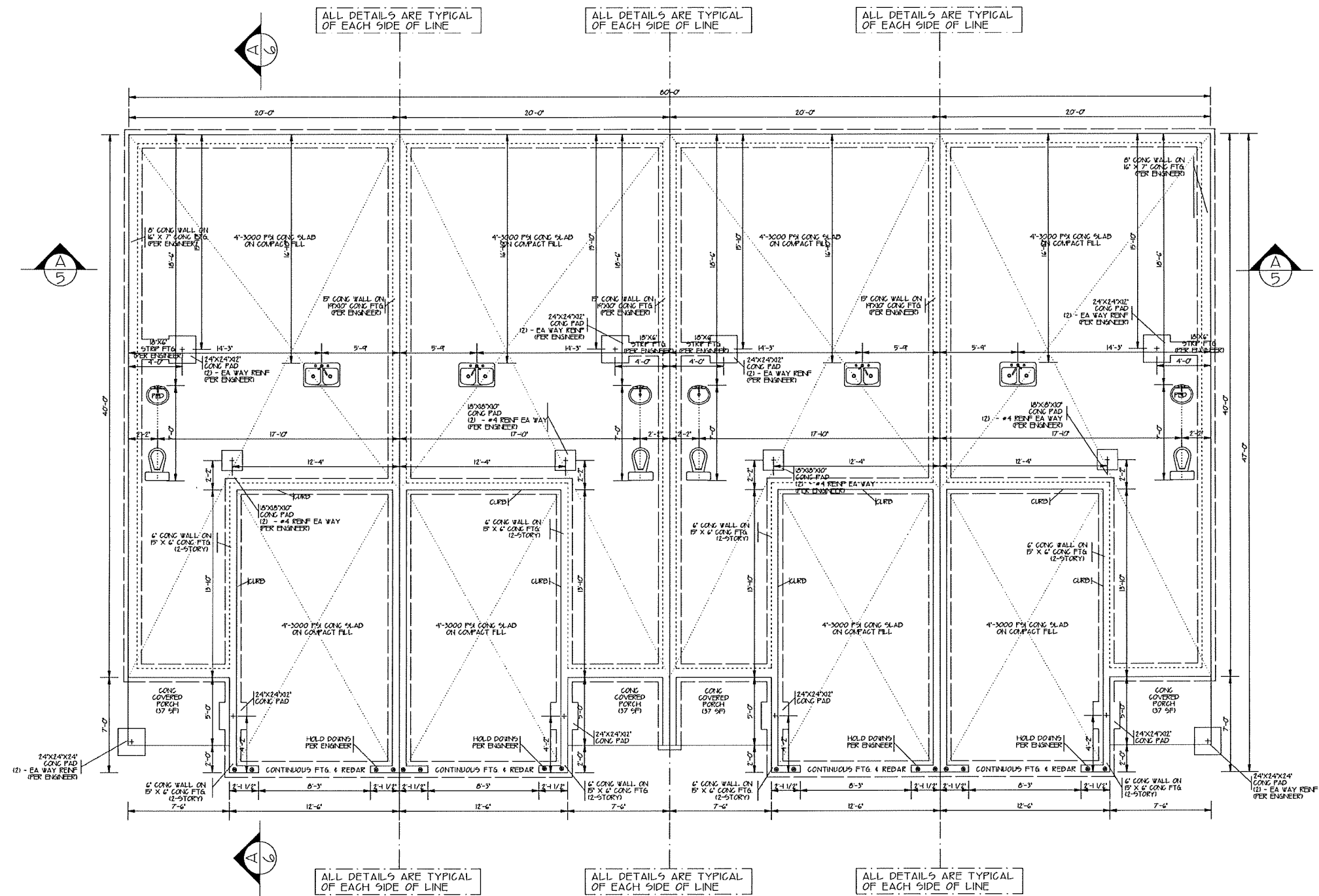
ORIG 04-14-12 GW  
REV 06-23-16 TC  
REV 1-26-16 TC  
REV 5-22-16 GW

PLAN 1513  
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3



GOVERNING DESIGN CODE  
2015 IRC INTERNATIONAL BUILDING CODE  
2015 IRC INTERNATIONAL RESIDENTIAL CODE  
FOUNDATIONS  
FOUNDATION SIZES BASED ON AN ALLOWABLE SOIL BEARING  
CAPACITY OF 2000 PSF (150 KPa) AND LIVE LOADS CARRIED  
PLACE FOOTINGS ON FIRM UNDISTURBED ORIGINAL SOILS  
OR ON STRUCTURAL FILL AND SHALL BE UNDER FROST  
LINE PER COUNTY CODE UNLESS NOTED BY ENGINEER.  
CONCRETE MIN. DEMANDS  
3000 PSI CONG. FOR SLAB, CONG. WALLS, AND FOOTINGS  
ALL ON COMPACT FILL OR VIBRATED  
(SLABS MAY REQUIRE EXCESSIVE IN SOME JURISDICTIONS)  
ANCHORS IN CONCRETE  
INSTALL ACCORDING TO MANUFACTURER'S RECOMMENDATIONS  
ANCHOR BOLTS USE BOLTS WITH ROLLED THREADS  
UNLESS NOTED OTHERWISE. USED ANCHOR BOLTS SEVEN  
INCHES (71) MINIMUM INTO CONCRETE.  
FT. 1/2" SLL WITH 1/2" X 6" (6/8") FOR (2) OR (3) STORIES  
MAX 12" FROM ENDS WITH 1/2" X 6" (6/8")  
STEEL PLATE REQUIRED AT EACH END. THE  
ANCHOR BOLT SPACE FOR 3-STORY BUILDINGS  
SHALL BE 48" O.C.  
ANCHOR BOLT MUST BE LOCATED NO GREATER THAN 12" TO  
FOUNDATION PLATE SPACES AND NO LESS THAN 7 TIMES  
THE ANCHOR BOLT DIA.  
EXAMPLE 1/2" X 6" (6/8") FROM SPACES  
EXAMPLE 5/8" X 4" (5/8") FROM SPACES  
PROVIDE 2 ANCHOR BOLTS PER FACE OF FOUNDATION PLATE  
UNLESS NOTED OTHERWISE.  
EXPANSION ANCHORS INTO CONCRETE  
BESIDE EXPANSION ANCHORS (4) MINIMUM INTO CONCRETE  
6-STORY PER IRC 403B  
6" CONG. WALL 14" TALL MAX ON 12" X 6" CONG. FTG.  
SEE DETAIL WALL DETAILS FOR HIGHER STORIES WALLS  
OR PER ENGINEER.  
12-STORY PER IRC 403B  
6" CONG. WALL 14" TALL MAX ON 12" X 6" CONG. FTG.  
SEE DETAIL WALL DETAILS FOR HIGHER STORIES WALLS  
OR PER ENGINEER.  
18-STORY PER IRC 403B  
6" CONG. WALL 14" TALL MAX ON 12" X 6" CONG. FTG.  
SEE DETAIL WALL DETAILS FOR HIGHER STORIES WALLS  
OR PER ENGINEER.  
REBAR  
MIN. #4 REBAR TOP OF WALL AND FOOTING CONT. 10"  
LAP AT SPICES, STEELWALLS HIGHER THAN 4' WILL REQUIRE  
DOWN UP REBAR IN WALL OR CONTINUED DOWNSTAY  
WALL FOR LOCAL JURISDICTION OR ENGINEER.  
#4 VERT. MAX. 48" O.C. WITH MIN. 14" EXTENSION INTO  
DOWN WALL AT SPICE MIN. 6" HOOK  
CONTINUOUS FTG. & REBAR THROUGH GARAGE OPENINGS  
GRADE  
GRADE SHALL FALL A MIN. 4" W/IN FT. 10" OR FTG. DRAIN REQ.  
3/4" DIA. PERFORATED PIPE W/ 3/4" DIA. GRAPED ROCK OR  
GRAVEL & APPROVED FILTER LIES (SEE 6402)  
FOOTINGS MUST BE 12" MIN. BELOW UNDISTURBED GROUND  
OR FOOTING SHALL BE PLACED BELOW THE FROST LINE  
ESTABLISHED BY THE LOCAL JURISDICTION USE WHICHEVER  
PROVIDES A DEEPER FOUNDATION - VERTICAL AND  
HORIZONTAL WALL REINFORCEMENTS SHALL BE PLACED  
NO CLOSER TO THE OUTSIDE FACE OF THE WALL THAN  
1/2 THE WALL THICKNESS  
POST CONNECTIONS  
TYPICAL 4X4 POSTS 12" IN CONTACT W/ WEATHER OR  
CONG. USE FT. - POST TO CONG. CONNECTION USE  
SIMPSON CONG. POST BASE OR ECU - POST TO FOR  
OR BEAM CONNECTION SIMPSON DCL POST CAP OR ECU  
POST TO DECKING CONNECTION SIMPSON DCLD HALF  
BASE CAP OR ECU FOR 4X4 POST CONNECTIONS SEE  
MANUF. FOR INSTALLATION DETAILS  
TYPICAL 4X4 POSTS 12" IN CONTACT W/ WEATHER OR  
CONG. USE FT. - POST TO CONG. CONNECTION USE  
SIMPSON EFD4411 POST BASE OR ECU - POST TO FOR  
OR BEAM CONNECTION SIMPSON DCLD POST CAP OR ECU  
POST TO DECKING CONNECTION SIMPSON DCLD HALF  
BASE CAP OR ECU FOR 4X4 POST CONNECTIONS SEE  
MANUF. FOR INSTALLATION DETAILS  
BEAM JOIST W/ 1/2" AIR SPACE ON 3-SIDES  
SIMPSON HOLDOWN WITH 14" OR 16" DIA. OR ECU OR PER DIA.  
SOIL VENT PER CODE AREA /300 - 56 MIN.  
LEDGERS  
WOOD CONNECTION 2X LEDGER W/ 5/8" X 9 LAG BOLTS  
SPACED @ 48" O.C.  
CONG. CONNECTION FTG. LEDGER W/ 4" WEDGE ANCHORS  
SPACED @ 24" O.C.



LOT #56

LOT #55

LOT #54

LOT #53

REFER TO ENGINEERING SHEETS FOR SPEC'S IF LATERAL  
ENGINEERING IS REQUIRED ACCORDING TO LOCAL BUILDING  
CODES AND/OR ZONING REGULATIONS.

FOUNDATION PLAN  
SCALE 1/4"=1'-0"

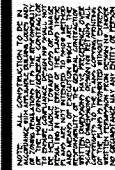
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LOTS #53-56

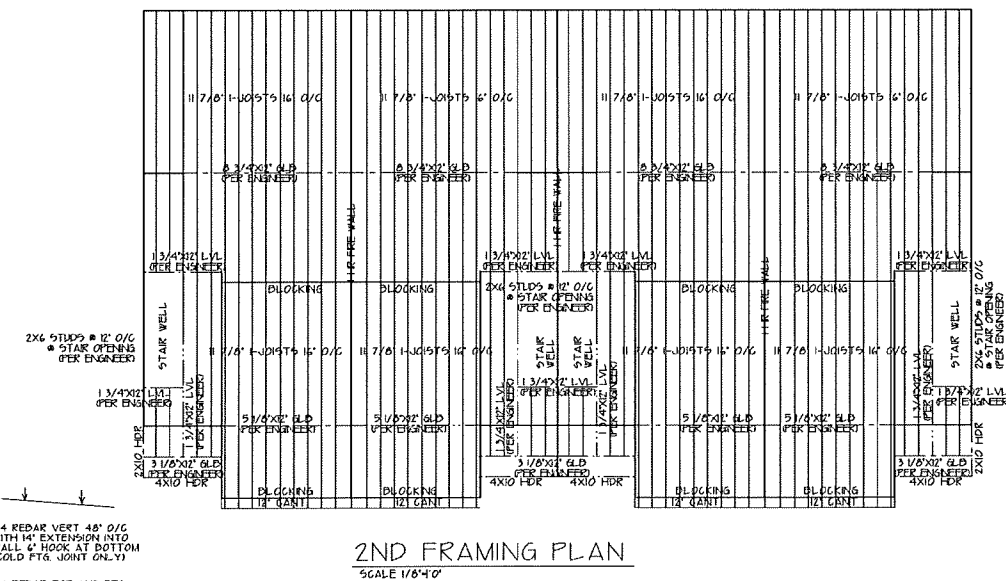
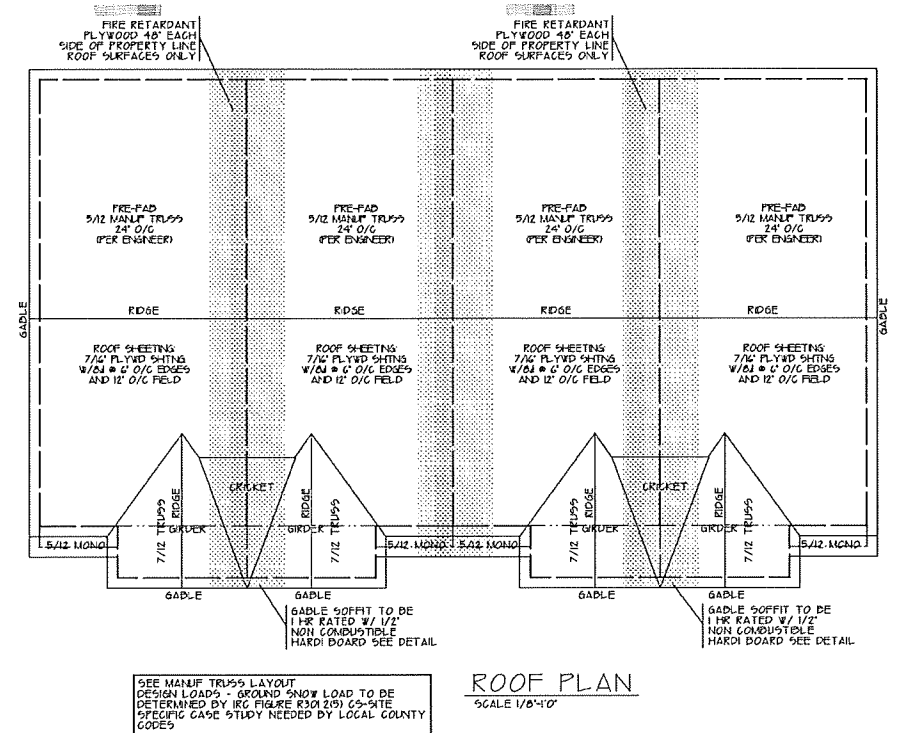
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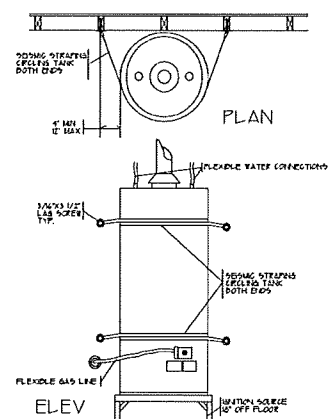
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REV. 02-13-16 TC  
REV. 1-14-17 TC  
REV. 5-22-18 GW

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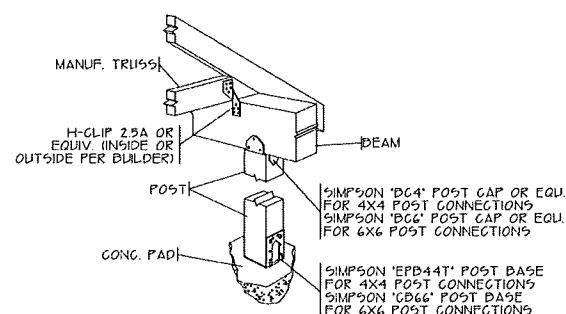
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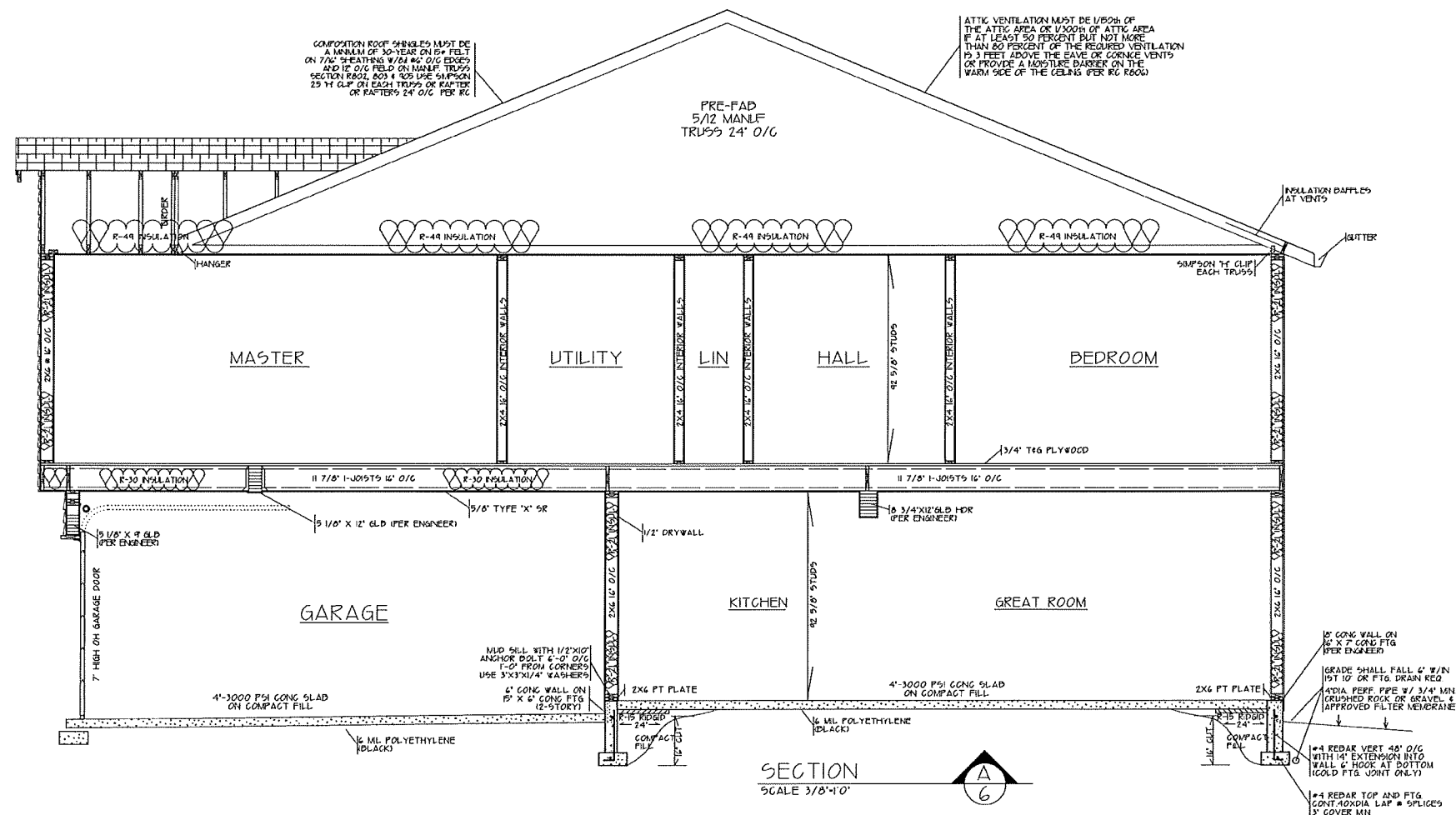
## NT9

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## SEISMIC RESTRAINT



TYP. POST CONNECTION DETAIL



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DESIGN NOTIFICATION - PL 300 300-1774 - Case 10-10017

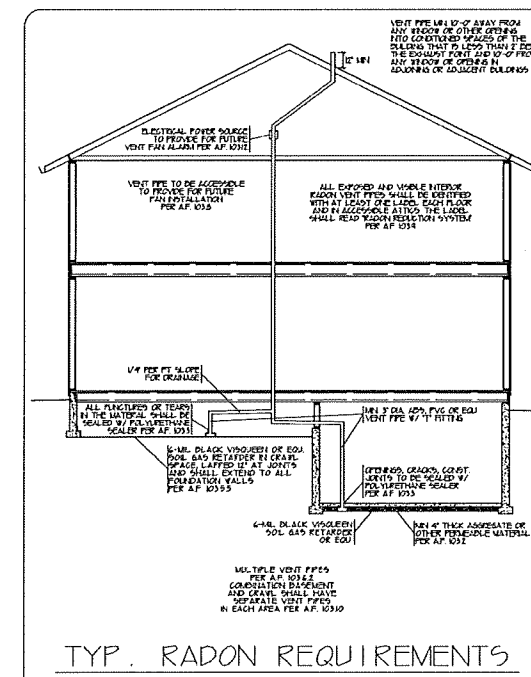
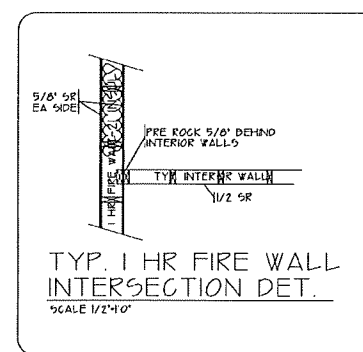
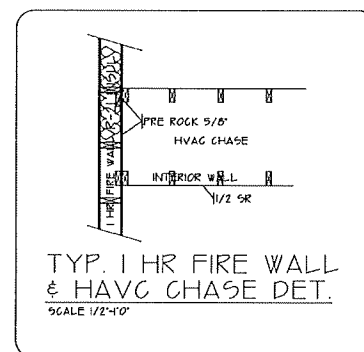
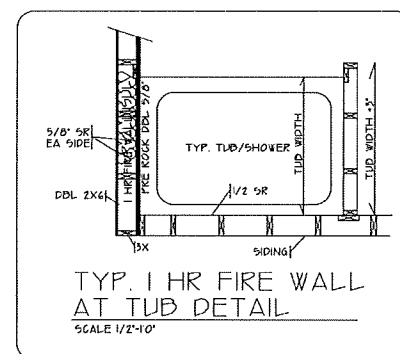
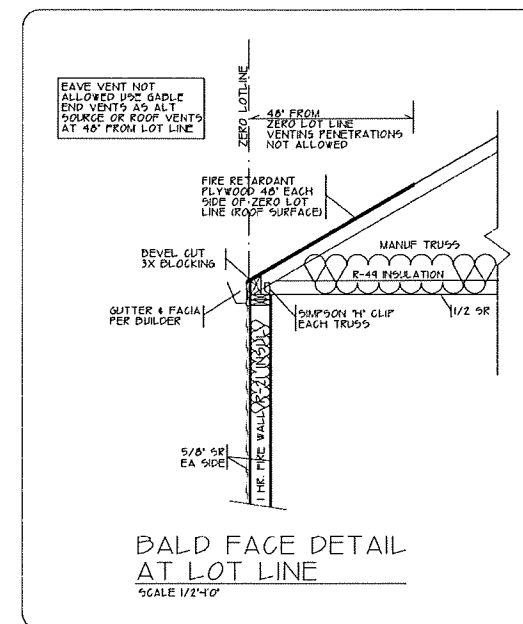
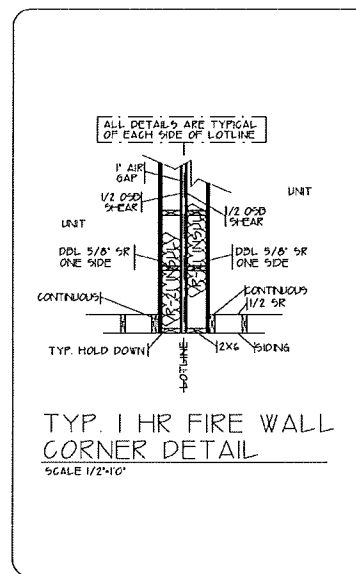
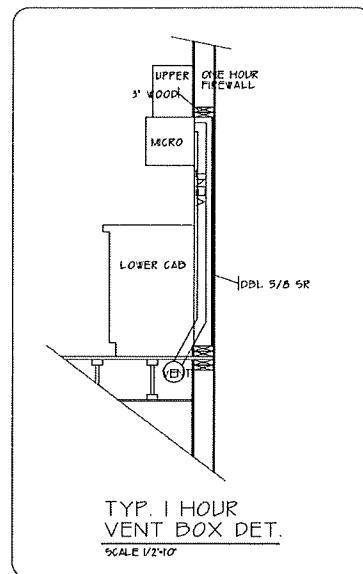
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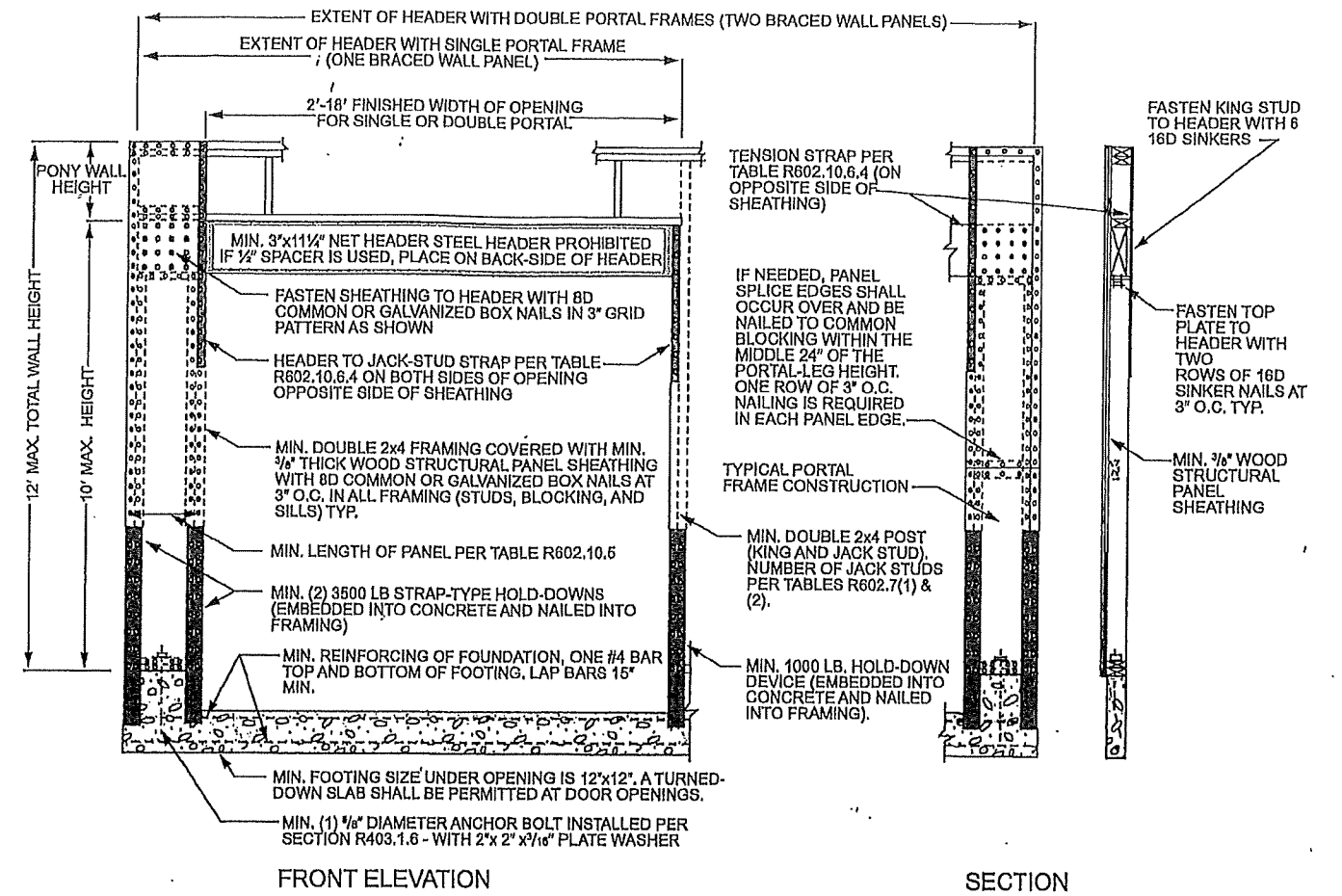
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REV	1-16-16	TC
REV	5-22-18	GW

PLAN 1513  
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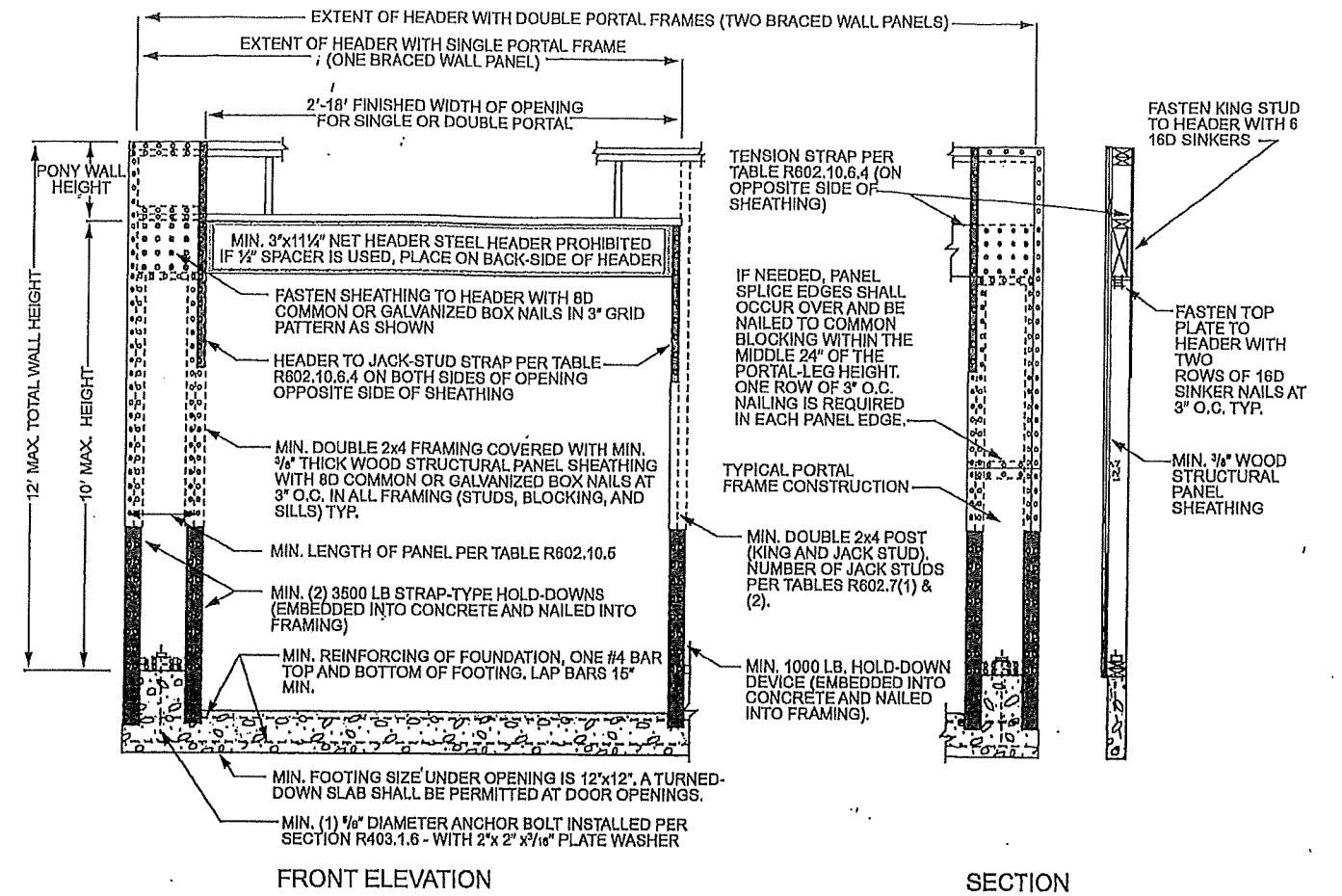






1 inch = 25.4 mm, 1 foot = 304.8 mm.

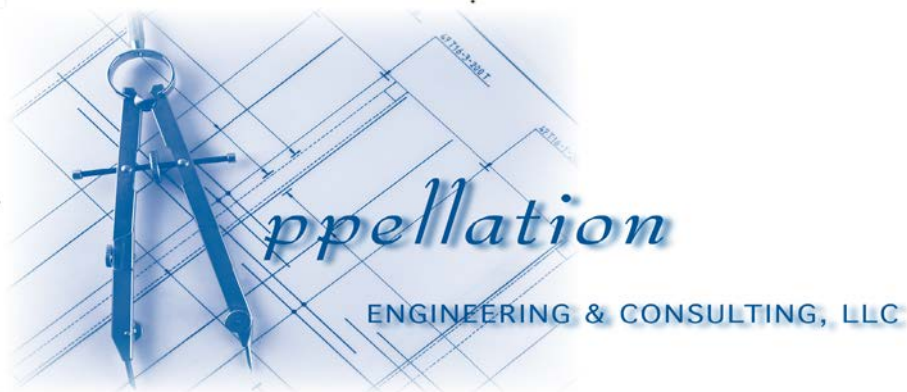
**FIGURE R602.10.6.2**  
**METHOD PFH—PORTAL FRAME WITH HOLD-DOWNS**



1 inch = 25.4 mm, 1 foot = 304.8 mm.

**FIGURE R602.10.6.2**  
**METHOD PFH—PORTAL FRAME WITH HOLD-DOWNS**





**VAN VOORHIES, P.E.**  
**46 MEADOWLARK LANE**  
**TOUCHET, WASHINGTON 99362**  
[van@appellationeng.com](mailto:van@appellationeng.com)

**509-200-6538 CELL**  
**Project 21-44**  
**5-20-2021**

Mr. Barry C. Beyeler  
Community Development Director  
P.O. Box 229  
Boardman, Oregon 97818

Re: Proposal before the Planning Commission for a 15 lot subdivision for the construction on multi-family 4-plex units. 60 units are envisioned with one 4-plex per lot. The developer is Ramandeep S. Malhi, R&R 2019 Investment, LLC., 8804 West 5<sup>th</sup>. Street, Kennewick, Washington 993366

## ARGUMENTS IN FAVOR OF THE DEVELOPMENT

1. The project is located in a multi-family sub-unit zone in compliance with the ordinances and goals of the City.
2. Sewer, water and dry utilities are present and easily extended for service to the lots. All other serving utilities are available.
3. The units will also serve as a buffer to single family units and future commercial oriented development.
4. Such development is adjacent to a school and the City Fire Department.
5. The development will help meet housing demands due to exceptional growth in the City. A review of the aerals show considerable transient, and recreational facilities, mobile homes, and single family units. Little multi-family can be noted on the aerial photos.
6. Lot sizes are generous allowing for open space and patios and balconies.
7. Construction costs per family dwelling units will be reduced.
8. The project meets multiple goals in the comprehensive plans.
  - A variety of living environments.
  - Provide substantial new housing units.
  - Adjacent to schools and close to services.

- The project is fully compliant with the desire for the City to have alternate housing as demonstrated by creation of the residential sub district. A full spectrum of housing is needed.
- Lower income families find limited housing stock to meet their needs.
- The land can be easily smoothed and buildability enhanced. There are no geo-technical problems on site.

## ISSUES FOR PLANNING COMMISSION CONSIDERATION

The cul-de-sac length in the 600 foot range and longer than typically permitted. Additional fire hydrants will be provided to Fire Department standards. The City in conjunction with the Fire Department can size the cul-de-sac for fire truck accessibility to turn around.

An alternate possibility would be to create a through street. It would solve the above issue, but would add traffic in front of the school.

Neighbors to the west have an existing 20 foot access easement from Yellow Fork Drive to Wilson Lane. This gives them additional buffer space. Fencing and plantings can help.

The adjacent health clinic will be able to serve the new residents medical needs.

## SUMMARY

This development may create some neighborhood displeasure, but it is fully in conformance with the planning and goals of the city.

Best Regards,

Van Voorhies, PE  
Project Engineer

## Barry Beyeler

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**From:** Marty Broadbent <MBroadbent@boardmanfd.com>  
**Sent:** Monday, May 10, 2021 10:45 AM  
**To:** Barry Beyeler  
**Subject:** Ramandeeep Subdivision

Berry,  
Boardman Fire Rescue District will require two fire hydrants for the Ramandeeep Subdivision, one located at the entrance at lot 15 and one between lot 12 & 13.

Marty Broadbent Fire Marshal  
Boardman Fire & Rescue District  
mbroadbent@boardmanfd.com  
Office: 541-481-3473  
Cell: 541-561-3826